



Cumann Lucht Bainistíochta Contae agus Cathrach  
County and City Management Association



An Roinn Tithíochta, Pleanála,  
Pobail agus Rialtais Áitiúil  
Department of Housing, Planning,  
Community and Local Government



## Agents Day 2018 Wexford County Council

### NATIONAL BUILDING CONTROL MANAGEMENT PROJECT

Riverside Hotel,  
Enniscorthy, Co Wexford



Mairéad Phelan , Chartered Engineer, FIEI,  
Colin Barden, Chartered Engineer, MIEI  
29<sup>th</sup> June 2018

# Building Control Management



- Building Control Management -Reform



- National Building Control Management Project



- 4 Pillar Project

- Training
- Compliance & Support
- IT-Enabler/BCMS
- Inspections



- IT-Enabler/BCMS

## FAQ 2. What is the context of Building Control in the Built Environment?

Must Commence within  
14-28 days of Validation of  
Commencement Notice

Must Complete to Comply with the  
Requirements of the 2<sup>nd</sup> Schedule to the  
Building Regulations Part A-M →

- Connections to Water, Waste Water, Surface Water, Community Heating, -Utilities - Electricity, Gas, Broadband etc.
- Service Roads, Places of Refuge- Fire, Emergency Vehicles, Access etc.
- Phased development must stand alone for full compliance
- Waste permits etc...

Part A— Structure (2010)

Part B—Fire Safety (2017)

Part C—Site preparation and Resistance to Moisture Resistance (2004)

Part D—Materials and Workmanship (2013)

Part E—Sound (2014)

Part F—Ventilation (2009)

Part G—Hygiene (2011)

**Part H—Drainage and Waste Water Disposal (2010) Amendment (2016)**

Part J—Heat Producing Appliances (2014)

Part K—Stairways, Ladders, Ramps and Guards (2014)

Part L—Conservation of Fuel and Energy (2017)

Part M—Access and Use (2010)

**Buildings in Context-Interdisciplinary field- Planning, Building Control, Fire, Environment,**

**No Profession or Academic Discipline has a Monopoly-**

**Planning & Strategic Development**

**Environment, Structures, Design, Aesthetics, Economics, Contract Management & Use...**

**Other Regulatory Compliances include Health & Safety, Taking In Charge, Roads, Services , Derelict/Dangerous Structures Acts, Multi Unit Developments Act, Housing Provision...**



- *Reform*



## Government's Vision of Reform:

Shared Services is among the key reform initiatives mandated by Government and set out in the:

- Programme for Government - **inspections**
- Action Programme for Effective Local Government, **Putting People First.**
- Construction 2020- confidence in **safe** and **sustainable** construction sector
- Action Plan for Jobs -restore **competitiveness/improve ease of doing business**
- National Building Control Shared Services Project- **standardise & professionalise**
- Social Housing Strategy 2020 - secure good **quality housing**
- Rebuilding Ireland -**Build More Homes/Utilise Existing Housing**
- National Planning Framework -Project Ireland 2040 -Building Ireland's Future -**move to a lower carbon climate resistant society/sustainable water & wastewater**
- Fire Safety in Ireland-Task Force Report- May 2018

# National Vision of Reform:

## Building Control Acts 1990-2014

### Amendment of the Building Control Regulations

- LOCAL GOVERNMENT REFORM ACT 2014 (No 1 of 2014)
- BUILDING CONTROL AMENDMENT REGULATIONS –S.I. 9 of 2014.
- BUILDING CONTROL (AMENDMENT) (NO. 2) REGULATIONS 2014 - S.I. No. 105 of 2014
- BUILDING CONTROL (AMENDMENT) REGULATIONS 2015 - S.I. No. 243 of 2015
- BUILDING CONTROL (AMENDMENT) (NO. 2) REGULATIONS 2015- S.I. No. 365 of 2015

### Vision

## **Promote a Culture of Compliance with Building Regulations**

### National Building Control Management Project (NBCMP)

***Provide oversight, support & direction for the development, standardisation and implementation of Building Control as an effective shared service in the 31 Building Control Authorities; through four pillars of Training; Inspections; Compliance & Support; IT-Enabler/BCMS -localgov.ie; Collaboration is through the oversight board and three regional Building Control Committees.***

**The Customer-** Owners, Builders, Designers, Assigned Certifiers, Building Control Officers **The Sector**

# National Building Control Management Project

- Promote a Culture of Compliance



# Building Control Service Delivery- 31 Building Control Authorities

[Building Control Acts 1990 to 2014](#) regulates design & construction of buildings & works.

The Act provides for the **health** and **safety** of **people** in or about buildings, **access** for all and the **conservation** of fuel and energy.

## **SAFE, ACCESSIBLE, SUSTAINABLE BUILDINGS**

- The Act also provides for among other things the making of:
  - “[Building Regulations](#)” Provide for the design requirements of buildings” -and
  - “[Building Control Regulations](#)”- Provide for matters of procedure, administration
  - The establishment of Building Control Authorities
  - The registration of professional titles
  - The appointment of Building Control Officers i.e. [Authorised Officers](#)
  - Powers of Inspections for compliance with the regulations and
  - Enforcement



## FAQ 14. What are the definitions for Stakeholders in the Building Control Process?

### Building Owner

“Building Owner” means the person who has commissioned or paid for the works and who has legal entitlement to have such works carried out on their behalf;

### Design Certifier

“Design Certifier” means the person who signs the Certificate of Compliance (Design);

### Assigned Certifier

“Assigned Certifier” means the competent, registered professional person so assigned, in accordance with the Building Control Regulations;

### Builder

“Builder” means a competent builder appointed, for purposes of the Building Control Regulations, by the building owner, to build and supervise the works;

### Competent

“Competent Person”: a person is deemed to be a competent person where, having regard to the task he or she is required to perform and taking account of the size and/or complexity of the building or works, the person possesses sufficient training, experience and knowledge appropriate to the nature of the work to be undertaken;

# Building Control Authorities & Authorised Officers

## Building Control Officer

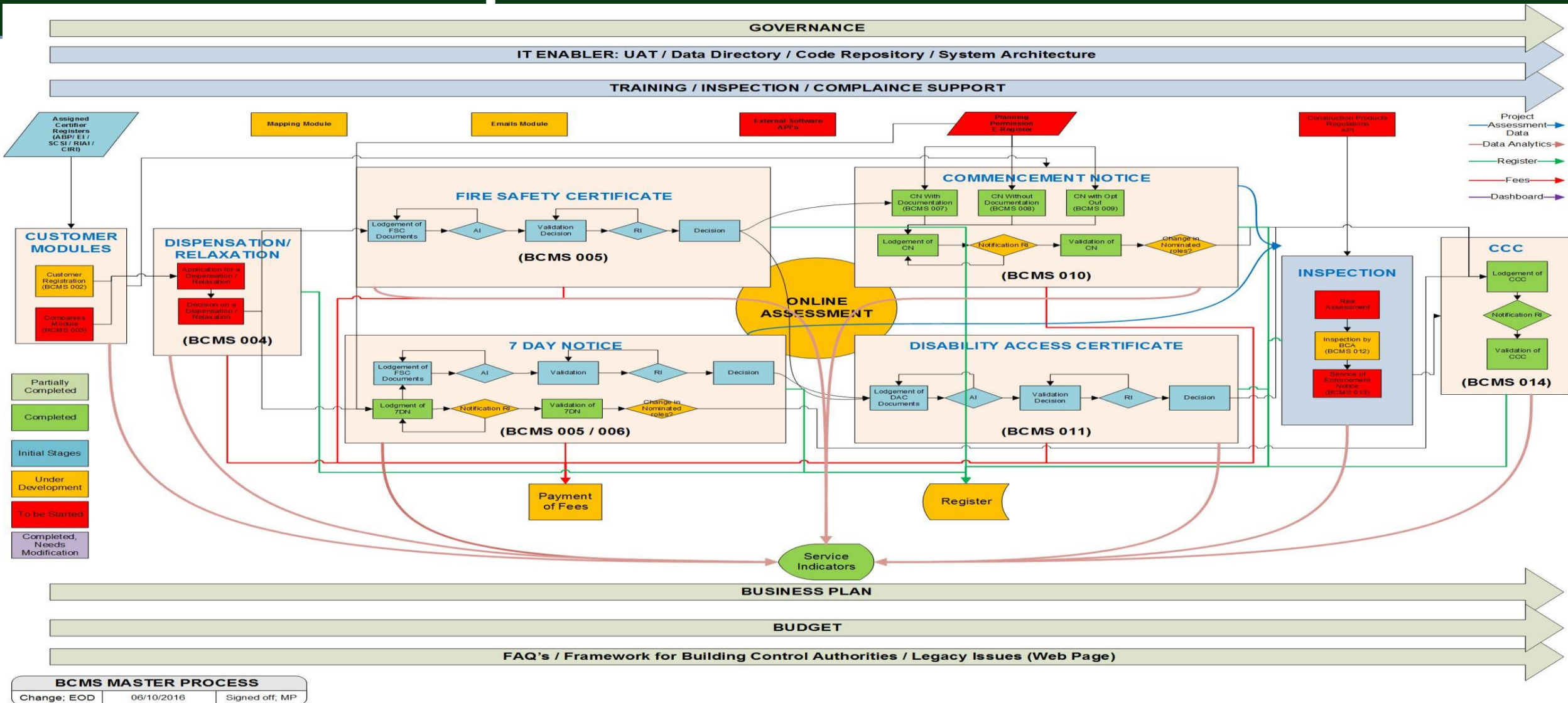
“Authorised Person” has the meaning assigned to it by section 11 Building Control Act 1990-2014. S11 Powers of inspection by authorised persons.

- **Enforcing compliance** with the
  - **Building Control Regulations** -Notices/Applications/Certificates of Compliance -and the
  - **Building Regulations**. Part A-M
- **Scrutinising building proposals**- Validation and assessment of Notices, Certificates and Granting Applications
- **Inspecting works in progress**- note a discretionary power
- **Serving enforcement notices** for non-compliance.
- **Instituting legal proceedings** for breaches of regulatory requirements.
- **Seeking Circuit or High Court injunctions** for non-compliance
- **Maintaining the [Statutory Public Building Register](#).**
- Building Control Authorities also have functions under the
  - [Construction Products Regulations](#) and the
  - [European Union Energy Performance of Buildings Directive](#).



“[Framework for Building Control Authorities V1.1 June 2016](#)” provides guidance on roles and functions of Building Control Authorities.

# NBCMP Masterplan



# NBCMP Project Overview- 4 Pillars

3 Regional Building Control Committees.

## National Building Control Management Project (NBCMP)

*Provide oversight, support & direction for the development, standardisation and implementation of Building Control as an effective shared service in the 31 Building Control Authorities; through four pillars of:*

Training;

Inspections;

Compliance & Support;

IT-Enabler/BCMS -localgov.ie;

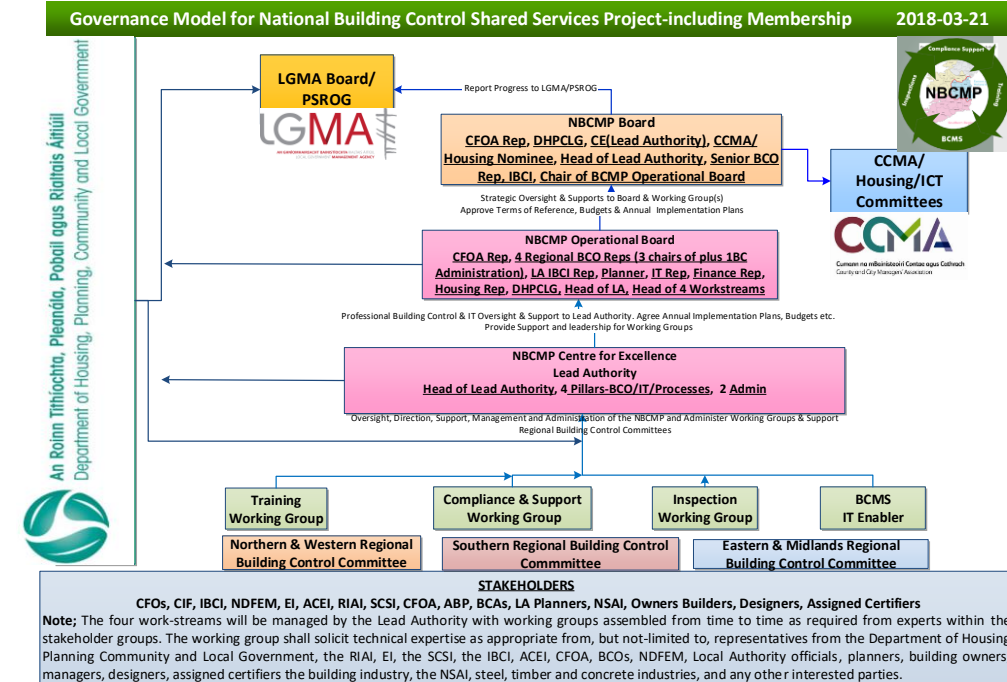
*Collaboration is through the oversight board and three Regional Building Control Committees.*

**Promote a Culture of Compliance with Building Regulations**

**The Customer-** Owners, Builders, Designers, Assigned Certifiers, Building Control Officer-**The Sector**



## Governance





# National Building Control Management Project-Pillars

- 4 Pillar Project
- Training
- Compliance
- Support
- IT-Enabler/BCMS
- Inspections

TRAINING  
COMPLIANCE  
SUPPORT  
INSPECTIONS  
BCMS

## NBCMP

National Building Control Management Project

**NOTICES**

- COMMENCEMENT NOTICE**  
Section 6(2)(X) of the Building Control Act 1990 – 2014  
Requiring the giving of notice to building control authorities of the erection of any building, or classes of buildings, or the carrying out of such works, or classes of works, as may be specified in the regulations.
- ASSIGNMENT OF PERSON TO INSPECT AND CERTIFY WORKS (ASSIGNED CERTIFIER)**  
Section 6(2)(Y) of the Building Control Act 1990 – 2014  
The designation of the persons or the classes of persons by whom certificates of compliance may be given, and the classes of buildings or works in respect of which such certificates may be given.
- ASSIGNMENT OF BUILDER**  
Section 6(2)(Z) of the Building Control Act 1990 – 2014  
The designation of the persons or the classes of persons by whom certificates of compliance may be given, and the classes of buildings or works in respect of which such certificates may be given.
- NOTIFICATION OF CHANGE OF ASSIGNED CERTIFIER OR BUILDER**  
Article 6(3) / 25A(2)(c) of the Building Control Regulations 1997 - 2015  
If, for whatever reason, having submitted the commencement notice, a building owner changes either the person assigned to inspect and certify the works or the assigned builder, then the building owner must within 14 days notify the building control authority of the change by submitting, electronically or otherwise, the appropriate notice of assignment and forms of undertaking referred to under paragraph (1)(b) reflecting the up-to-date arrangements in this regard.

**APPLICATIONS**

- REGULARISATION CERTIFICATE**  
Section 6(2)(X)(i) of the Building Control Act 1990 – 2014  
Requiring where work has been commenced or completed in respect of the construction of a building, or an extension of, or a material alteration to a building, and no application has been made for a fire safety certificate that is required under building control regulations for such construction, extension or material alteration, the subsequent grant of a fire safety certificate for the purposes of ensuring that the revised design complies with the grant of planning permission (including any condition attached to it) complies with the provisions of building regulations relating to fire safety.
- DISABILITY ACCESS CERTIFICATE**  
Section 6(2)(X)(ii) of the Building Control Act 1990 – 2014  
Requiring the submission to a building control authority of an application for a certificate of compliance in respect of compliance with the building regulations for provision of access to a building for persons with disabilities (a disability access certificate) and setting the building control authority to grant such certificate if in its opinion the design of the building or the extension of or material alteration to the building in respect of which the application is made complies (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) with the relevant requirements of the building regulations.
- REVISED DISABILITY ACCESS CERTIFICATE**  
Section 6(2)(X)(iii) of the Building Control Act 1990 – 2014  
Requiring the submission to a building control authority of an application for a revised fire safety certificate (in this Act also referred to as a 'revised fire safety certificate') or a disability access certificate (in this Act referred to as a 'revised disability access certificate') if significant revision is made to the design or works of a building or an extension, or of a material alteration to a building in respect of which a fire safety certificate or a disability access certificate has been granted by a building control authority.

**CERTIFICATES**

- CERTIFICATE OF COMPLIANCE (UNDERTAKING BY BUILDER)**  
Section 6(2)(X)(i) of the Building Control Act 1990 – 2014  
Requiring the submission to building control authorities of certificates in the Act referred to as "certificates of compliance" being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.
- CERTIFICATE OF COMPLIANCE ON COMPLETION**  
Section 6(2)(X)(ii) of the Building Control Act 1990 – 2014  
Requiring the submission to building control authorities of certificates in the Act referred to as "certificates of compliance" being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.

**Read Roles & Duties**

**BCMS Web Portal**

Log in | Sign Up

Search the Statutory Register here

- Any - | Enter search word

About BCMS | Manage your submissions

**Building Regulations**

**Technical Guidance Documents**

# National Building Control Management Project

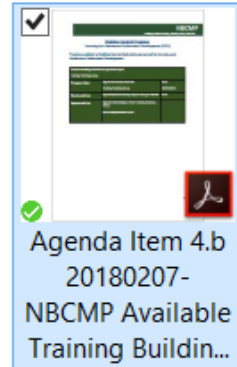
## • Training



# Training- Competent- Professional-Building Control Officers

**Training Working Group –  
chair Colin Gallagher BCO  
Fingal**

**1. CPD- 2018 CPD  
Recommended  
List Circulated**



**1. Minimum Competency  
Training-Local Authority  
Regional Training Centres -  
6 Module Course- Modules  
1-3 delivered**

**2. Post Graduate Diploma**

## Minimum Competency Training

Module 1 -Legislation-legislation overview – BC Act, B Regs, BC Regs, PDA, CPR, EE Regs, Fire Regs etc..

Module 2-BCMS-Reporting and Data Analytics-BCMS front end and back end & reports system and Demonstration Commencement Notice upload including login.

Module 3-Building Regulations

Module 4- Inspections and Inspection Procedures – first principal approach – purpose, procedure/process, action/warrants, records/notes – best practice.

Module 5-Enforcement -Legal

Module 6-Compliance Support –

1. Code of Practice/
2. Framework/
3. FAQs
4. Other



A004 National Building  
Control Management Project

LASNTG-Local Authority  
Services National Training  
Group- Building Control (BC)  
Training Group-Terms of  
Reference  
Minimum Competency BC Course

Date: 10<sup>th</sup> November 2016  
Version: 1.0  
Prepared: Máiréad Phelan/Eoin O'Dowd  
Colin Gallagher  
Approved: Colin Gallagher



8<sup>th</sup> March 2017

Pilot Course on Building Control Minimum Criteria-Module 1

Wednesday 8<sup>th</sup> March 2017 at the Roscrea Regional Training Centre

9 a.m. - 9:30a.m. Registration, tea/coffee

9:30a.m. - 9:45a.m.

Introduction to the Pilot Course and purpose

9:45a.m. - 11:00a.m.

Building Control Act - Andrew McAvitt, Kevin Cooke

11:00a.m. - 11:15a.m. Tea Break

10:15a.m. - 12:30p.m.

Building Control Regulations - Martin Ryan, John Sweeney

12:30p.m. - 1:30p.m. Lunch Break

1:30p.m. - 2:45p.m.

Building Regulations - Colin Gallagher, Eoin O'Dowd

2:45p.m. - 3:00p.m. - Tea Break

3:00 p.m. - 3:45 p.m.

Other Legislation

- Construction Products Regulations - J. Wickham

- Energy Efficiency of Buildings Regulations - Sean Armstrong

- Other Legislation related to Building Control Activities - M. Phelan

4:00 p.m. - 4:20p.m. - Questions and feedback

4:20 p.m. - 4:40 Multi-choice questionnaires



# National Building Control Management Project

- Compliance & Support



*Buildings are our homes and our communities, and we have a responsibility to ensure that they are built in compliance with the “Building Regulations” which provide for sustainability, safety and health and welfare of people in and around buildings.*

CONSTRUCTION\_PRODUCTS\_REGULATIONS  
BUILDING\_CONTROL\_REGULATIONS  
BUILDING\_REGULATIONS  
EN\_STANDARDS  
BUILDING\_CONTROL\_ACT  
TECHNICAL\_GUIDANCE\_DOCUMENTS  
CODES



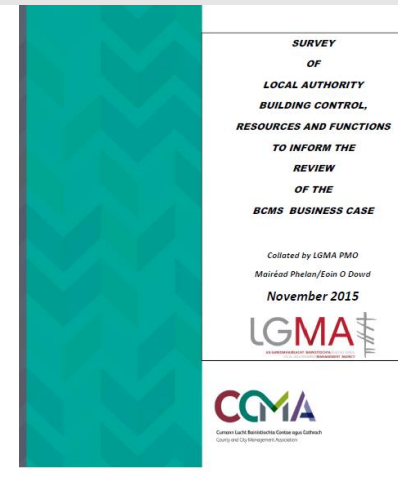
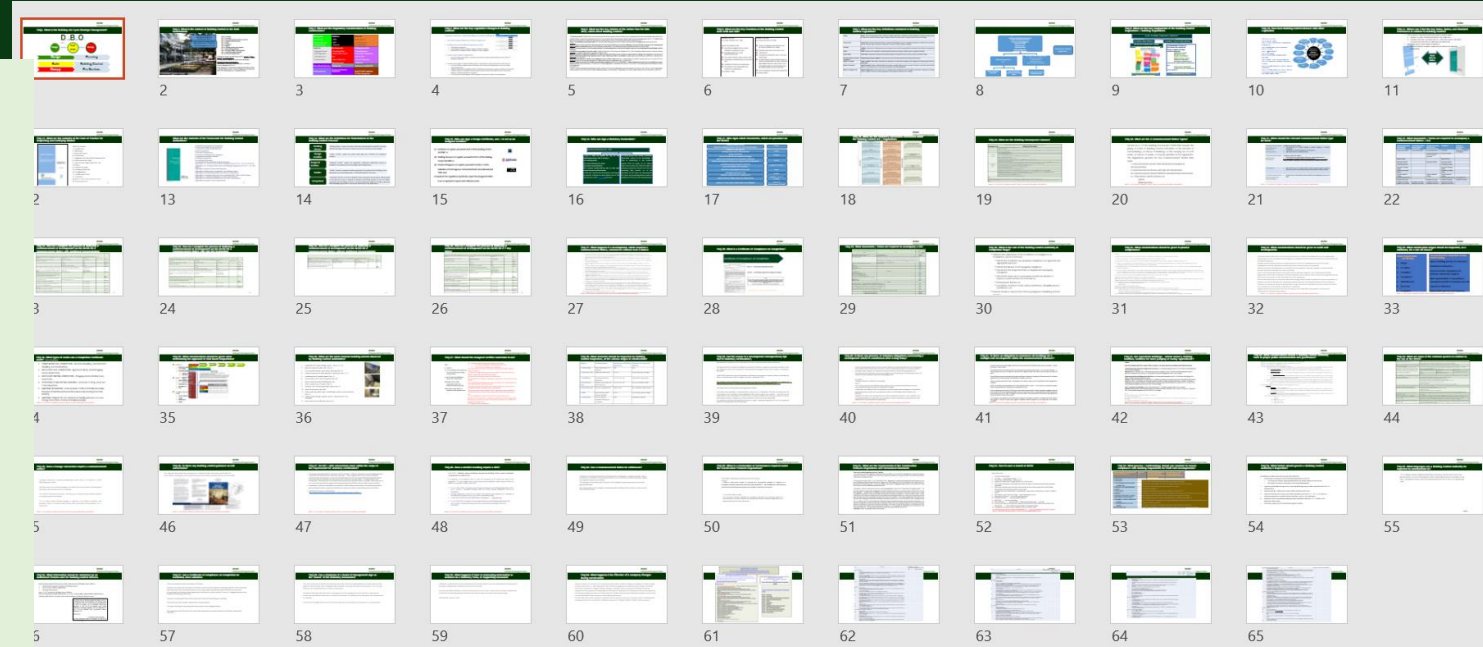
# Compliance & Support-Competent – Professional-Building Control Officers

**Compliance Customer Support Working Group-**

**Chair Mairéad Phelan**

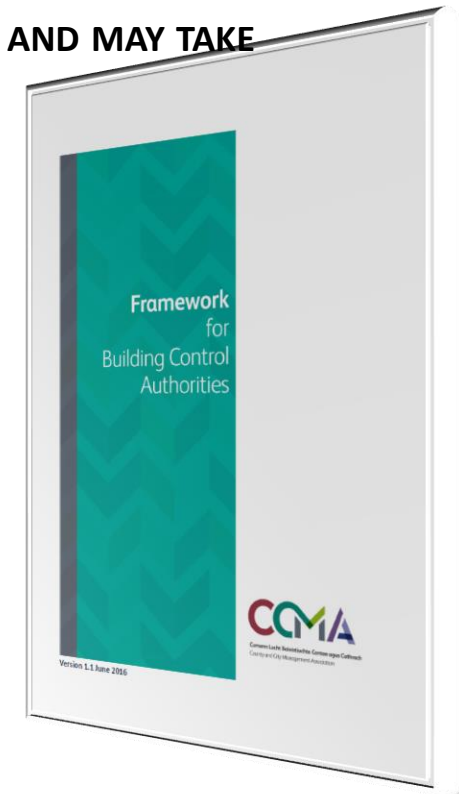
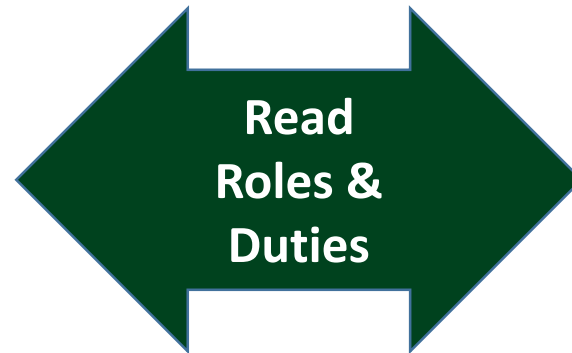
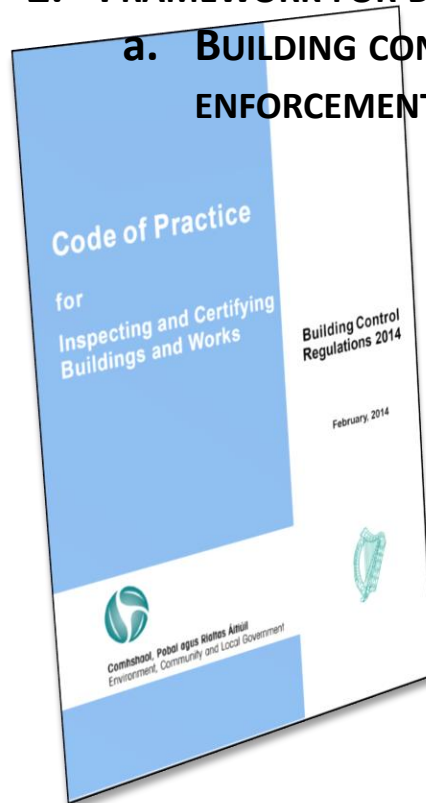
**Lead Authority**

- Local Authority Staff
- Public
- Professionals
- Governance –
  - NBCMP Board
  - NBCMP Operational/Steering Board
  - 4-Working Groups
  - 3 Building Control Regions
- Framework for Building Control Authorities
- Building Control Legislation
- Codes & Standards
- Circulars
- Best Practice
- FAQ's
- Data Analytics-Building Control Activity



## Compliance Support - FAQ 11. Where can I find the Key Roles, Duties, and Standard Procedures in relation to Building Control?

1. **CODE OF PRACTICE FOR INSPECTING & CERTIFYING BUILDINGS & WORKS**
  - a. **OWNERS, BUILDERS, DESIGNERS RESPONSIBLE FOR COMPLIANCE**
  - b. **ASSIGNED CERTIFIERS- LIAISE WITH THE BCA, INSPECTION PLANS & DOCUMENT COLLATION FOR CERTIFICATE OF COMPLIANCE ON COMPLETION**
2. **FRAMEWORK FOR BUILDING CONTROL AUTHORITIES**
  - a. **BUILDING CONTROL AUTHORITY ADMINISTER THE PROCESS AND MAY TAKE ENFORCEMENT**



# Promote a Culture of Compliance with Building Regulations

**Commencement/7  
Day Notice**

**Schedule of  
Documents Q6**

**Preliminary  
Inspection Plan**  
(List milestone inspections  
and relevant Building  
Regulation Compliance  
issues)

**Code of Practice for  
Inspecting and Certifying  
Building Works September  
2016  
&  
Framework for Building  
Control Officers June 2016**

**CERTIFICATE OF COMPLIANCE ON  
COMPLETION  
(COMPLETION CERTIFICATE)**

**Inspection Plan as Implemented**

**ANNEX**

**Table of Drawings, Calculations,  
Specifications, Ancillary  
Certificates and Particulars**



# Building Control Management- localgov.ie

• *IT  
Enabler/BCMS*

**NBCMP**

National Building Control Management Project



**"Delivering better outcomes and efficiency through innovation and excellence in ICT"**

*"Delivering better outcomes and efficiency through innovation and excellence in ICT"*



DIGITAL COMPLIANCE  
BUILDING\_REGISTER  
EFFICIENCY  
DATA\_ENABLER  
VALIDATION  
GOVERNANCE  
STANDARDISATION  
CONSTRUCTION  
INFORMATION  
ICT  
SHARING



# Masterplan-IT/Support/BCMS *electronic administration*

## Prescribed Forms -Building Regulations & Building Control Regulations

### Notices:

- **Form Of Commencement Notice For Development** (Article 9)
  - Commencement Notice **With** Additional Compliance Documentation (Article 9)
  - Commencement Notice Without Additional Documentation (Article 9)
  - Commencement Notice with **Opt** Out Declaration (Article 9)
- **Form Of 7 Day Notice (Article 20A)**
- **Notice Of Assignment Of Assigned Certifier** (Notice of Assignment of Person to Inspect and Certify Works) (Article 9)
- **Notice Of Assignment Of Assigned Certifier** (Notice Of Assignment Of Person Assigned To Inspect And Certify Works) (Article 20A)
- **Notice Of Assignment Of Builder** (Article 9)
- **Notice Of Assignment Of Builder** (Article 20a)

### Certificates:

- **Undertaking By Assigned Certifier Form Of Certificate Of Compliance** (Article 9)
- **Undertaking By Assigned Certifier Form Of Certificate Of Compliance** (Article 20a)
- **Undertaking By Builder Form Of Certificate Of Compliance** (Article 9)
- **Undertaking By Builder Form Of Certificate Of Compliance** (Article 20a)
- **Design Certificate Form Of Certificate Of Compliance (Design)** (Article 9)
- **Design Certificate Form Of Certificate Of Compliance (Design)** (Article 20a)
- **Certificate Of Compliance On Completion (Completion Certificate)** (Article 20f)
- **Annex (Article 20f)**
- **Form Of Fire Safety Certificate** (Article 18)
- **Form Of Revised Fire Safety Certificate ("Article 20b(6))**
- **Form Of Regularisation Certificate** (Article 20c(7))
- **Form Of Disability Access Certificate** (Article 20d(8))
- **Form Of Revised Disability Access Certificate** (Article 20e(5))

### Applications:

- **Form Of Application For A Fire Safety Certificate** (Article 13)
- **Form Of Application For A Revised Fire Safety Certificate** (Article 20a (2))
- **Form Of Application For A Regularisation Certificate** Article 20c(2)
- **Form Of Application For A Disability Access Certificate** (Article 20d(3))
- **Form Of Application For A Revised Disability Access Certificate** (Article 20e(2))
- **Form Of Application For A Dispensation From, Or A Relaxation Of, A Requirement Of Building Regulations** (Article 14)

### Declarations:

- **Declaration Of Intention To Opt Out Of Statutory Certification** (Article 9)
- **Form Of 7 Day Notice Statutory Declaration** (Article 20a (2))
- **Form Of Statutory Declaration For A Regularisation Certificate** (Article 20c(2))

1. User Registration-Sign On
2. Notices
3. Applications
4. Certificates
5. Online/Risk-Assessment
6. Inspections
7. Enforcement
8. Fee Payments
9. Online Statutory Building Register
10. Performance Indicators
11. Training
12. Compliance
13. IT-Enabler -BCMS

## NOTICES

<b>ENFORCEMENT NOTICE</b> Section 8 of the Building Control Act 1990 – 2014 Where— (a) the construction of any building or the carrying out of any works to which building regulations apply is commenced or has been completed or any material change takes place in the purposes for which any building is used, and (b) the building or works are not designed or have not been, or are not being, constructed or carried out in conformity with building regulations, and (c) the failure to comply with building regulations is not such a failure in relation to which the building control authority would be prepared to grant a dispensation or relaxation pursuant to [the] Act, the building control authority may serve a notice under [section 8].
<b>7 DAY NOTICE</b> Section 6(2)(A)(IV) of the Building Control Act 1990 – 2014 The submission (before grant of the relevant fire safety certificate) of a notice in writing to a building control authority by a person who intends to commence work on the construction of a building or an extension of or a material alteration to a building, giving not less than 7 days notice of that person's intention to carry out those works, and requiring that such notice shall be accompanied by a valid application for a fire safety certificate.
<b>COMMENCEMENT NOTICE</b> Section 6(2)(K) of the Building Control Act 1990 – 2014 requiring the giving of notice to building control authorities of the erection of such works, or classes of buildings, or the carrying out of such works, or classes of works, as may be specified in the regulations.
<b>ASSIGNMENT OF PERSON TO INSPECT AND CERTIFY WORKS (ASSIGNED CERTIFIER)</b> Section 6(2)(C) of the Building Control Act 1990 – 2014 The designation of the persons or the classes of persons by whom certificates of compliance may be given, and the classes of buildings or works in respect of which such certificates may be given.
<b>ASSIGNMENT OF BUILDER</b> Section 6(2)(C) of the Building Control Act 1990 – 2014 The designation of the persons or the classes of persons by whom certificates of compliance may be given, and the classes of buildings or works in respect of which such certificates may be given.
<b>NOTIFICATION OF CHANGE OF ASSIGNED CERTIFIER OR BUILDER</b> Article 9(3) / 20A(2)(c) of the Building Control Regulations 1997 – 2015 If, for whatever reason, having submitted the commencement / 7 day notice in respect of works or a building subject to paragraph (1)(b), a building owner changes either the person assigned to inspect and certify the works or the assigned builder, then the building owner shall within 14 days notify the building control authority of the change by submitting, electronically or otherwise, the appropriate notices of assignment and forms of undertaking referred to under paragraph (1)(b) reflecting the up-to-date arrangements in this regard.

## APPLICATIONS

<b>DISPENSATION OR RELAXATION</b> Section 4 of the Building Control Act 1990 – 2014 (1) Subject to the provisions of [section 4], a building control authority may, if it considers it reasonable having regard to all the circumstances of the case, grant a dispensation from, or a relaxation of, any requirement of building regulations in respect of buildings or works which are situated within the functional area of the building control authority and— (a) which are designed, constructed or carried out by or on behalf of the building control authority, or (b) in relation to which an application for such dispensation or relaxation has been submitted pursuant to [section 4, subsection (2)].
<b>FIRE SAFETY CERTIFICATE</b> Section 6(2)(a)(ii) of the Building Control Act 1990 – 2014 Requiring in respect of a building, or buildings, of a prescribed class or classes, the submission to a building control authority of an application for a certificate (in this Act referred to as a "fire safety certificate") that a building, if constructed in accordance with the plans, documents and information submitted, would, in the opinion of the building control authority, comply (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) with such provisions of building regulations as may be prescribed.
<b>REVISED FIRE SAFETY CERTIFICATE</b> Section 6(2)(a)(vi) of the Building Control Act 1990 – 2014 Requiring where an application for a fire safety certificate in respect of the construction of a building or an extension of or a material alteration to a building has been submitted before planning permission has been granted in respect of such construction, extension or alteration, the submission, if required by the subsequent grant of such planning permission, of a further application to a building control authority for a fire safety certificate (in this Act referred to as a revised fire safety certificate) for the purpose of ensuring that the revised design arising from the grant of planning permission (including any condition attached to it) complies with the provisions of building regulations relating to fire safety.
<b>REGULARISATION CERTIFICATE</b> Section 6(2)(a)(vi) of the Building Control Act 1990 – 2014 Requiring where work has been commenced or completed in respect of the construction of a building or an extension of or a material alteration to a building, and no application has been made for a fire safety certificate that is required under building control regulations for such construction, extension or material alteration to a building, the submission to a building control authority of an application for a certificate (a "regularisation certificate") which shall be accompanied by drawings of the relevant works (as they have been constructed) and a statutory declaration from the applicant stating that such works comply with the provisions of the building regulations relating to fire safety, and enabling the authority to specify in a regularisation certificate that the regularisation certificate shall not have effect unless, within 4 months after its being granted, any conditions attached to it by the authority (including conditions as to the carrying out of additional works) are complied with.
<b>DISABILITY ACCESS CERTIFICATE</b> Section 6(2)(a)(ix) of the Building Control Act 1990 – 2014 Requiring the submission to a building control authority of an application for a certificate of compliance with respect to requirements under the building regulations for provision of access to a building for persons with disabilities (a "disability access certificate") and enabling the building control authority to grant such certificate if in its opinion the design of the building or the extension of or material alteration to the building in respect of which the submission is made would comply (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) with the relevant requirements of the building regulations.
<b>REVISED DISABILITY ACCESS CERTIFICATE</b> Section 6(2)(a)(ix) of the Building Control Act 1990 – 2014 Requiring the submission to a building control authority of an application for a fire safety certificate (in this Act also referred to as a revised fire safety certificate) or a disability access certificate (in this Act referred to as a revised disability access certificate) if significant revision is made to the design or works of a building or an extension of or a material alteration to a building in respect of which a fire safety certificate or a disability access certificate has been granted by a building control authority.

## CERTIFICATES

<b>CERTIFICATE OF COMPLIANCE (DESIGN)</b> Section 6 (2)(a)(i) of the Building Control Act 1990 – 2014 Requiring the submission to building control authorities of certificates (in this Act referred to as "certificates of compliance") being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of, the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.
<b>CERTIFICATE OF COMPLIANCE (UNDERTAKING BY ASSIGNED CERTIFIER)</b> Section 6 (2)(a)(i) of the Building Control Act 1990 – 2014 Requiring the submission to building control authorities of certificates (in this Act referred to as "certificates of compliance") being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of, the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.
<b>CERTIFICATE OF COMPLIANCE (UNDERTAKING BY BUILDER)</b> Section 6 (2)(a)(i) of the Building Control Act 1990 – 2014 Requiring the submission to building control authorities of certificates (in this Act referred to as "certificates of compliance") being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of, the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.
<b>CERTIFICATE OF COMPLIANCE ON COMPLETION</b> Section 6 (2)(a)(i) of the Building Control Act 1990 – 2014 Requiring the submission to building control authorities of certificates (in this Act referred to as "certificates of compliance") being certificates relating to compliance with the building regulations (subject to any relevant dispensation or relaxation already granted under section 4 or 5 or to any appeal under section 7 which has been allowed) prior to the commencement of, during, and after the completion of, the construction of any buildings, classes of buildings, works or classes of works, to which such building regulations apply.

# Inspections/Online Assessment

- **NOTICE – Update of Tuesday 27th February 2018**
- Please note that the BCMS has been updated to include the following:-
  - The **‘Project Assessment’** has been revised and expanded and is now called the **‘Online Assessment’** as per S.I. 9 of 2014(1).
    - An Eircode is now mandatory (for existing buildings).
    - Selection of location via a map interface is mandatory (for new buildings).
    - Notices and Certificates are provided as separate tabs.
    - A new search facility with filter panel, for your Submitted Notices and Certificates, is provided.
    - The design has been updated and refreshed.
    - Various other minor improvements and fixes have been implemented.
- Please liaise with your local Building Control Authority if you have any queries.

**Note:** (1) Article 9(1)(b)(i)(III) (Commencement Notices) and Article 20A(2)(a)(ii)(III)(c) (7 Day Notices) of S.I. 9 of 2014 require the “the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations”.



# Part A-Structure

Search the Statutory Register here

- Any -

Enter search word

- Any -

7 Day Notice

Commencement Notice With Compliance Documentation

Commencement Notice with Opt Out Declaration

Commencement Notice Without Compliance Documentation



Certificate of Compliance on Completion

“Built to Last” – “Built to Change”

Manage your submissions

Log In

Sign Up

Loading.	A1	(1)	A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that the combined actions that are liable to act on it are sustained and transmitted to the ground -  (a) safely, and  (b) without causing such deflection or deformation of any part of the building, or such movement of the ground, as will impair the stability of any part of another building.  (2) In assessing whether a building complies with sub-paragraph (1), regard shall be had to the variable actions to which it is likely to be subjected in the ordinary course of its use for the purpose for which it is intended.
	Ground movement.	A2	A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that movements of the subsoil caused by subsidence, swelling, shrinkage or freezing will not impair the stability of any part of the building.
Disproportionate Collapse.	A3	(1)	A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that in the event of an accident the structure will not be damaged to an extent disproportionate to the cause of the damage.  (2) For the purposes of sub-paragraph (1), where a building is rendered structurally discontinuous by a vertical joint, the building on each side of the joint may be treated as a separate building whether or not such joint passes through the substructure.
	Definitions for this Part.	A4	In this Part -  “actions” means a set of forces (loads) applied to the structure (direct actions) or a set of imposed deformations or accelerations (indirect actions).  “variable actions” means actions for which the variation in magnitude with time is neither negligible nor monotonic such as imposed loads on building floors, wind actions or snow loads.

## Part A (Structure)

Consequence Class\*

- Select -

- Select -

1

2a Lower Risk Group

2b Upper Risk Group

3

Buildings on disturbed, built-up, soft, contaminated ground or where there is a high water table will require specialist engineering attention/solutions. Please select as appropriate.

- Select -



# Part B-Fire Safety

## Part B (Fire)

Are compartments/separating walls required?:

- Select -

- Select -

Yes

No

Has a cladding or curtain wall system been proposed?:



- Select -

Select as appropriate



Is the site located in an area of high radon?:

- Select -



The following URL <http://www.epa.ie/radiation/radonmap/> will bring them to the most up to date map.



Means of warning and escape in case of fire.

**B6** A dwelling house shall be so designed and constructed that there are appropriate provisions for the early warning of fire and there are adequate means of escape in case of fire from the dwelling house to a place of safety outside the building, capable of being safely and effectively used.

Internal fire spread (linings)

**B7** For the purpose of inhibiting the spread of fire within a dwelling house, the internal linings:

(a) shall have, either a rate of heat release or a rate of fire growth and a resistance to ignition which is reasonable in the circumstances; and

(b) shall offer adequate resistance to the spread of flame over their surfaces

Internal fire spread (structure)

**B8** (1) A dwelling house shall be so designed and constructed that, in the event of fire, its stability will be maintained for a reasonable period.

(2) (a) A wall common to a dwelling house and to one or more adjoining buildings shall be so designed and constructed that it offers adequate resistance to the spread of fire between those buildings.

(b) A dwelling house shall be sub-divided with fire resisting construction where this is necessary to inhibit the spread of fire within the dwelling house.

(3) A dwelling house shall be so designed and constructed that the unseen spread of fire and smoke within concealed spaces in its structure or fabric is inhibited where necessary.

(4) For the purposes of sub-paragraph 2(a), a dwelling house in a terrace and a semi-detached dwelling house are each to be treated as being a separate building.

External fire spread

**B9** The external walls and roof of a dwelling house shall be so designed and constructed that they afford adequate resistance to the spread of fire to and from neighbouring buildings.

Access and facilities for the fire service.

**B10** A dwelling house shall be so designed and constructed that there is adequate provision for access for fire appliances and such other facilities as may be reasonably required to assist the fire service in the protection of life and property

Definitions for this Part.

**B11** In this Part - "dwelling house" means a dwelling that is not a flat."



Welcome to the Guardian.



▲ The burned-out shell of the Grenfell Tower, where at least 79 people were killed in a huge blaze. Photograph: Niklas Halle/N/AFP/Getty Images

Grenfell Tower renovation works were inspected 16 times by Kensington and





# Part C- Site Preparation and Moisture Resistance

## Part C (Site Preparation and Resistance to Moisture)

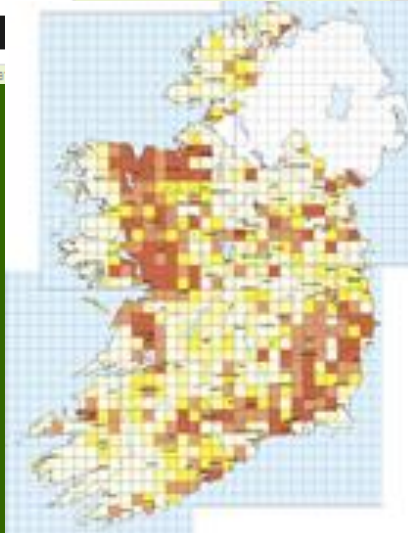
Is the site located in an area of high radon?:

- Select -



The following URL <http://www.epa.ie/radiation/radonmap/> will bring them to the most up to date

**Radon**  
**Don't forget about**  
**Methane**  
**VOCs**  
**Pyrite**  
**Sulphides**  
**Landfills**  
**Asbestos**  
**Heavy Metals**  
**Oils & Tars**  
**Mining**  
**Brownfield Sites**  
**Land reclaimed from the sea**  
**Etc.**



Preparation of site.	C1	The ground to be covered by a building shall be reasonably free from vegetable matter.
Subsoil drainage.	C2	Subsoil drainage shall be provided if necessary so as to prevent the passage of ground moisture to the interior of the building or damage to the fabric of the building.
Dangerous substances.	C3	Reasonable precautions shall be taken to avoid danger to health and safety caused by substances (including contaminants) found on or in the ground to be covered by a building.
Resistance to weather and ground moisture.	C4	The floors, walls and roof of a building shall be so designed and constructed as to prevent the passage of moisture to the inside of the building or damage to the fabric of the building.
Definitions for this Part.	C5	<p>In this Part -</p> <p>“contaminant” includes any substance which is or could become flammable, explosive, corrosive, toxic or radioactive and any deposits of faecal or animal matter;</p> <p>“floor” includes any base or structure between the surface of the ground or the surface of any hardcore laid upon the ground and the upper surface of the floor and includes finishes which are laid as part of the permanent construction;</p> <p>“moisture” includes water vapour and liquid water.</p>



# Part D-Materials & Workmanship

Materials and workmanship	D1	All works to which these Regulations apply shall be carried out with proper materials and in a workmanlike manner.
Letterplates	D2	A letter plate aperture shall be so positioned at a reasonable height above ground level so as not to endanger the health and safety of persons using such apertures.

## Part D (Materials and Workmanship)

Have you ensured that the design includes the use of proper materials which are fit for purpose and intended location and that these will be constructed in \*: a workmanlike manner?

- Select -

▼



Definition for this Part	D3	<p>In this Part, “proper materials” means materials which are fit for the use for which they are intended and for the conditions in which they are to be used, and includes materials which:</p> <ul style="list-style-type: none"><li>(a) bear a CE Marking in accordance with the provisions of the Construction Products Regulation;</li><li>(b) comply with an appropriate harmonised standard or European Technical Assessment in accordance with the provisions of the Construction Products Regulation; or</li><li>(c) comply with an appropriate Irish Standard or Irish Agrément Certificate or with an alternative national technical specification of any State which is a contracting party to the Agreement on the European Economic Area, which provides in use an equivalent level of safety and suitability.</li></ul>
--------------------------	----	--





# Part E – Sound

## Part E (Sound)

Has provision been made to providing reasonable resistance to impact and airborne sound, where required? \*

Select as appropriate

Yes

- Select -

Yes

No

Sound.

E1 Each wall and floor separating a dwelling from -

- (a) another dwelling or dwellings,
- (b) other parts of the same building,
- (c) adjoining buildings,

shall be designed and constructed in such a way so as to provide reasonable resistance to sound.

Reverberation.

E2 The common internal part of a building which provides direct access to a dwelling shall be designed and constructed so as to limit reverberation in the common part to a reasonable level

Definitions for this Part.

E3 In this Part –

“Reverberation” means the persistence of sound in a space after a sound source has been stopped.

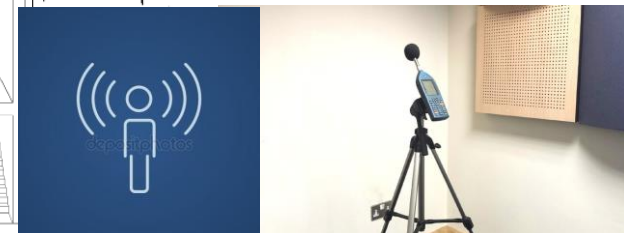
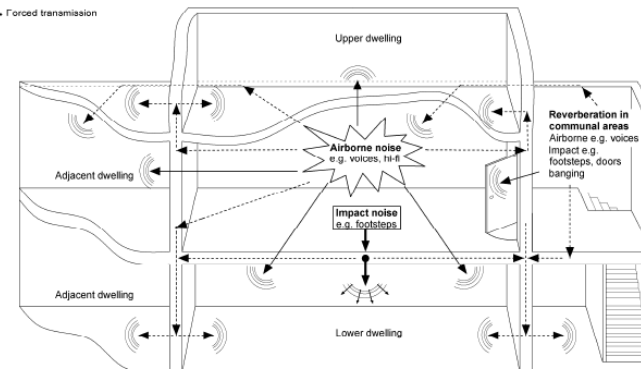
### 0.3.2 Room layout and building services

0.3.2.1 Internal noise levels are affected by room layout. The layout should be considered at the design stage to avoid placing noise sensitive rooms next to rooms in which noise is generated where possible.

Diagram 2 Principle of sound transmission paths (Par. 0.2.1.1)

#### Legend

- Direct transmission
- - - Flanking transmission
- Forced transmission



**Refer to BC 03/2016 - Competency of Sound Insulation Testers - Building Regulations (Part E Amendment) Regulations 2014**

**BC04/2015-Building Regulations (Part E Amendment) Regulations S.I. No 606 of 2014**

**Mandatory testing  
by a competent person.  
on a representative sample of dwellings.**

# Part F - Ventilation

## Part F (Ventilation)

Has adequate means of ventilation been provided for people in buildings and to prevent excessive condensation?

Select as appropriate

- Select -

- Select -

Yes

No

Means of ventilation.	F 1	Adequate means of ventilation shall be provided for people in buildings. This shall be achieved by a) limiting the moisture content of the air within the building so that it does not contribute to condensation and mould growth, and b) limiting the concentration of harmful pollutants in the air within the building.
Condensation in roofs.	F2	Adequate provision shall be made to prevent excessive condensation in a roof or in a roof void above an insulated ceiling.

Limiting moisture content within buildings condensation/ mould growth

- Limiting harmful pollutants/Indoor air quality
- Achieve adequate indoor air quality through
  - Natural Ventilation
  - Mechanical Ventilation with Heat Recovery (MVHR)
- Mixed Mode ventilation (strategies that combine natural ventilation with mechanical ventilation and/or cooling in the most effective manner) is referenced for Buildings other than Dwellings





# Part G – Hygiene

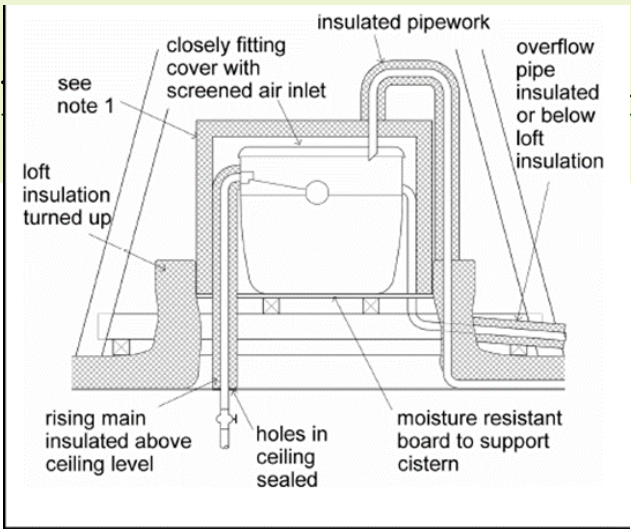
Part G (Hygiene)

How is drinking water to be provided to the site?\*

Select as appropriate

- Select -

- Select -



Dual flush toilets now compulsory in all situations where WC suite being renewed.

- Select -

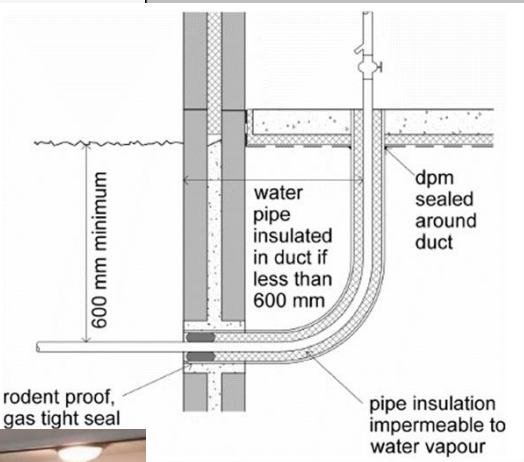
Public

Private Well

Group Scheme



Bathrooms and kitchens.	G1	A dwelling shall be provided with -  (a) a bathroom containing either a fixed bath or a shower bath, and a washbasin, and (b) a kitchen containing a sink of adequate size and a draining board, and (c) a suitable installation for the provision of hot and cold water to the bath or shower bath, washbasin and sink.
Sanitary conveniences and washing facilities.	G2	(1) Adequate sanitary conveniences shall be provided in a building in rooms provided for that purpose, or in bathrooms, and every room or bathroom which contains a sanitary convenience shall be adequately separated from any place where food is prepared or cooked.  (2) Adequate washbasins shall be provided in -  (a) rooms containing sanitary conveniences; or (b) rooms or spaces adjacent to rooms containing sanitary conveniences.  (3) There shall be a suitable installation for the provision of hot and cold water to washbasins provided in accordance with sub-paragraph (2).  (4) Sanitary conveniences shall be of such design as to facilitate efficient use of water for flushing.  (5) Sanitary conveniences and washbasins shall be of such design and be so installed as to allow for effective cleaning.
Definition for this Part.	G3	In this Part, "sanitary convenience" means a water closet or a urinal.



# Part H - Drainage, Waste Water Disposal

## Part H (Drainage and Waste Water Disposal)

How is surface water to be drained from the site?\*

Existing Connection



Public Sewer/Main

Select as appropriate

How is foul water to be drained from the site?\*

New Connection



- Select -



- Select -

Public

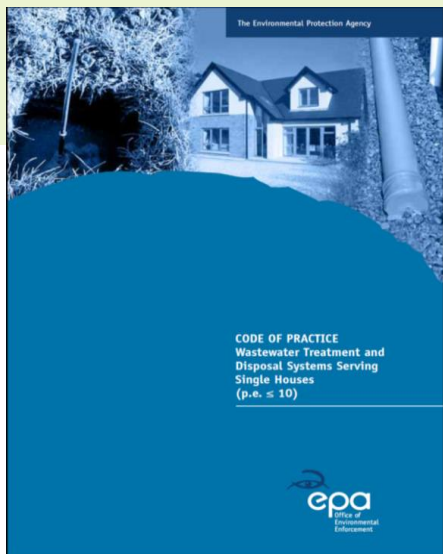
Private - Group Treatment System

Private - Onsite Treatment System

Definitions for this Part.

H3

In this Part –  
"combined drain" means a single private drain used for the drainage of two or more separate premises as defined in section 10 of the Local Government (Sanitary Services) Act 1948 (No. 3 of 1948);  
"drain" in relation to a building means any pipe, forming part of the drainage system of the building, which is either –  
(a) wholly underground, or  
(b) a continuation, in the direction of flow, of part of a drainage system that has been underground, and includes a "combined drain";  
"drainage system", in relation to a building, means the system of pipes and drains used for the drainage of the building, including all other fittings, appliances and equipment so used but excluding subsoil water drains;  
"domestic wastewater" means water discharged from kitchens, laundry rooms, lavatories, bathrooms, toilets and similar facilities (soil water and wastewater);  
"foul wastewater" means any wastewater comprising domestic wastewater and / or industrial wastewater;  
"industrial wastewater / trade effluent" means wastewater discharge resulting from any industrial or commercial activity;  
"sewer" has the same meaning as in the Local Government (Sanitary Services) Acts 1878 to 1964;  
"surface water" means water from precipitation which has not seeped into the ground and which is discharged to the drain or sewer system directly from the ground or from the exterior building surfaces;  
"soil water" means water containing excreted matter, whether human or animal;  
"wastewater" means used water not being soil water or trade effluent.





Part J - Heat Producing Appliances

Part J (Heat Producing Appliances)

Type of heat producing appliance(s) provided (if any)\*:

- ☐ Solid fuel burning appliance (including solid biofuel) with a rated output up to 50 kW
- ☒ Fixed gas burning appliance with a rated input up to 70 kW
- ☐ Gas burning cooking appliance
- ☐ Oil burning appliance with a rated output of to 45 kW
- ☐ Other heat producing appliance

Location of primary fuel storage, if any:

External, above ground and less than 1.8m from the building ^

- None -

Within building

External, above ground and less than 1.8m from the building

External, above ground and more than 1.8m from the building

External and below ground

Yes



Air supply.	J1	A heat producing appliance shall be so installed that there is an adequate supply of air to it for combustion, to prevent overheating and for the efficient working of any flue pipe or chimney serving the appliance.
Discharge of products of combustion.	J2(a)	A heat producing appliance shall have adequate provision for the discharge of the products of combustion to the outside air.
Warning of release of Carbon Monoxide.	J2(b)	Reasonable provision shall be made to avoid danger to the health and safety of the occupants of a dwelling caused by the release of carbon monoxide from heat producing appliances.
Protection of building.	J3	A heat producing appliance and any flue pipe shall be so designed and installed, and any fireplace and any chimney shall be so designed and constructed, as to reduce to a reasonable level the risk of the building catching fire in consequence of its use.
Provision of information.	J4(a)	Where a hearth, fireplace, flue or chimney is provided or extended, a durable notice containing information on the type of heat producing appliance which can be safely served by the hearth, fireplace, flue or chimney shall be affixed in a suitable place in the building.
	J4(b)	Information on the system installed and any continuing maintenance required, to ensure its safe and effective operation and avoid risk to health, shall be provided to the owner.
Fuel storage system – protection against spread of fire to the system.	J5	A fixed fuel storage system, which serves a heat producing appliance, and any associated pipework carrying fuel to that appliance, shall be so located as to reduce to a reasonable level the risk of fuel ignition due to fire spreading from the building being served or an adjacent building or premises.
Liquid fuel storage system – protection against pollution by the system.	J6	A fixed liquid fuel storage tank, which serves a heat producing appliance, and the pipes connecting it to that appliance shall be so located, constructed and protected as to reduce to a reasonable level the risk of the fuel escaping and causing pollution.
Definitions.	J7	In this Part, "heat producing appliance" means a fixed appliance (including a cooker and an open fire) which is designed to burn solid fuel, oil, bio-fuel or gas and includes an incinerator.



# Part K - Stairways, Ladders, Ramps & Guards

## Part K (Stairways, Ladders, Ramps and Guards)

Has adequate provision been made for guarding to stairs, ladders, floors and balconies?

Select as appropriate

- Select -

- Select -

Yes

No



Stairways, ladders and ramps. K1 Stairways, ladders and ramps shall be such as to afford safe passage for the users of a building.

Protection from falling. K2 In a building the sides of every floor, balcony and every part of a roof to which people normally have access, and sunken areas connected to a building, shall be guarded to protect users from the risk of falling.

Vehicle ramps, floors and roofs. K3 In a building, the sides of every vehicle ramp and every floor and roof to which vehicles have access shall be guarded against the risk of vehicles falling therefrom.

Application of this Part. K4 The requirements of this Part apply to stairways, ladders and ramps which form part of the structure of a building.

**Beware of Conflicts –  
Parts B, K & M**



# Part L - Conservation of Fuel & Energy

## Part L (Conservation of Fuel and Energy)

Has a Part L specification based on DEAP / NEAP been completed\*:

- Select -

Select as appropriate

- Select -

Yes

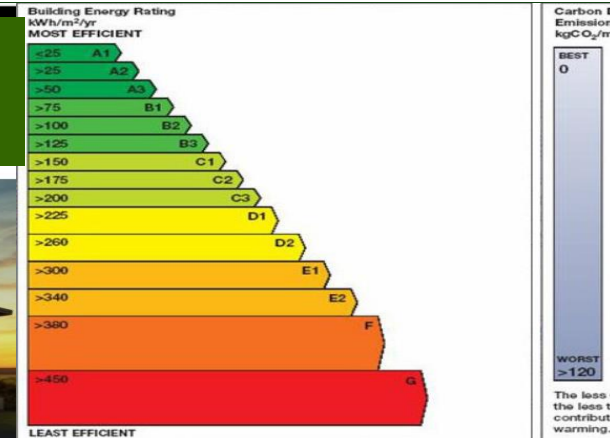
No

Has adequate provision been made for people to access and use the building's facilities and its environs?

- Select -

Save and continue

## Elon Musk: Your Home's Roof Is the Future of Energy



For existing dwellings, the requirements of L1 shall be met by: -

- (a) limiting heat loss and, where appropriate, maximising heat gain through the fabric of the building;
- (b) controlling, as appropriate, the output of the space heating and hot water systems;
- (c) limiting the heat loss from pipes, ducts and vessels used for the transport or storage of heated water or air;
- (d) providing that all oil and gas fired boilers installed as replacements in existing dwellings shall meet a minimum seasonal efficiency of 90% where practicable.

For new dwellings, the requirements of L1 shall be met by: -

- (a) providing that the energy performance of the dwelling is such as to limit the calculated primary energy consumption and related carbon dioxide (CO<sub>2</sub>) emissions insofar as is reasonably practicable, when both energy consumption and carbon dioxide (CO<sub>2</sub>) emissions are calculated using the Dwelling Energy Assessment Procedure (DEAP) published by Sustainable Energy Authority of Ireland;
- (b) providing that, for new dwellings, a reasonable proportion of the energy consumption to meet the energy performance of a dwelling is provided by renewable energy sources;
- (c) limiting heat loss and, where appropriate, availing of heat gain through the fabric of the building;

# Part M - Access & Use

Supplementary guidance on the design of stairs to help achieve compliance with the Building Regulations



## Part M (Access and Use)

Has adequate provision been made for people to access and use the building it's facilities and it's environs? \*

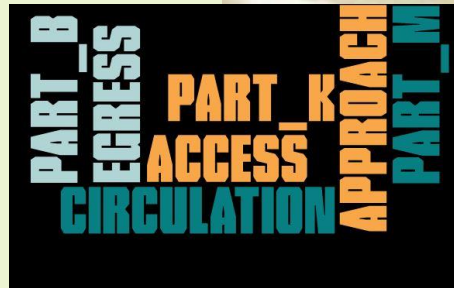
Select as appropriate

- Select -

- Select -

Yes

No



Application of the Part

- M2 Adequate provision shall be made for people to approach and access an extension to a building.
- M3 If sanitary facilities are provided in a building that is to be extended, adequate sanitary facilities shall be provided for people within the extension.
- M4 Part M does not apply to works in connection with extensions to and material alterations of existing dwellings, provided that such works do not create a new dwelling.

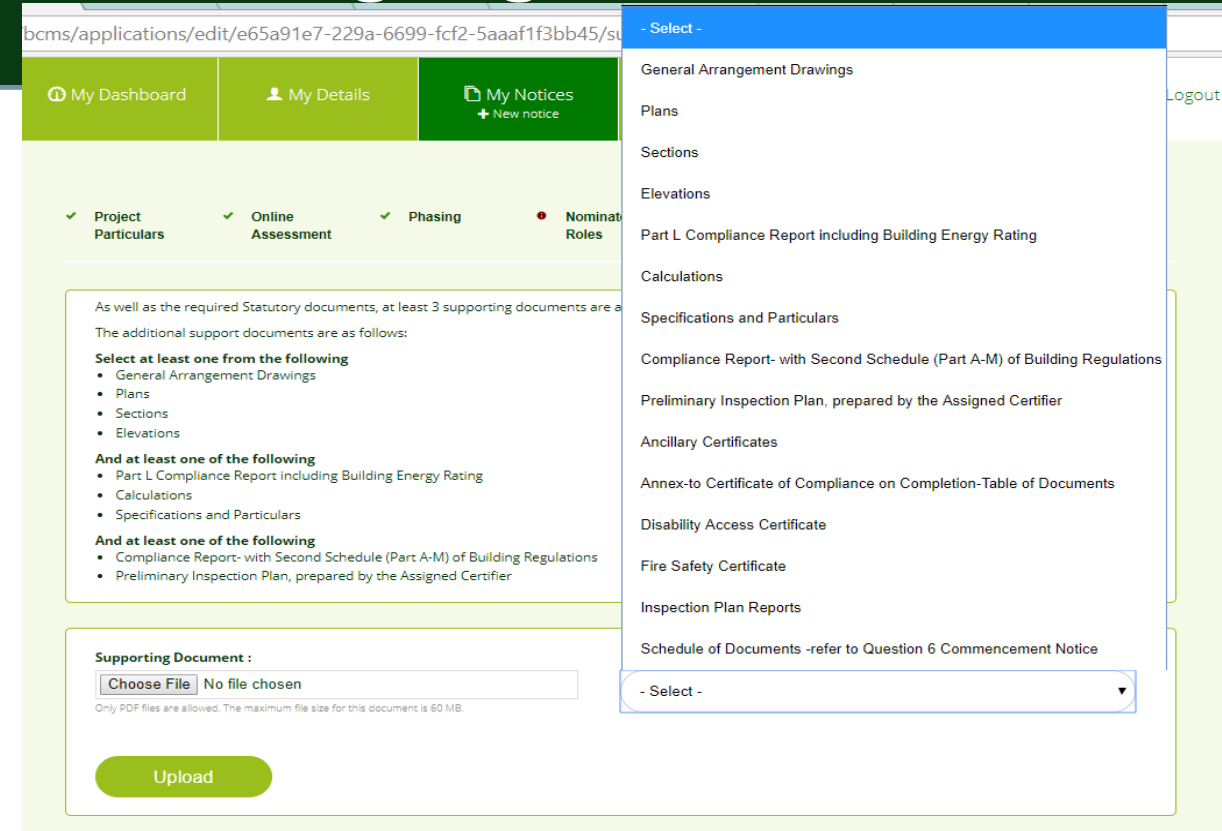
WELL!  
THIS IS  
AWKWARD...





# Promote a Culture of Compliance with Building Regulations

- **Part A** – Structure (2012)
- **Part B** - Fire Safety (2017)
- **Part C** - Site Preparation and Moisture Resistance (2004)
- **Part D** – Materials & Workmanship (2013)
- **Part E** – Sound (2014)
- **Part F** - Ventilation (2009)
- **Part G** – Hygiene (2011)
- **Part H** - Drainage, Waste Water Disposal (2010) Amendment 2016
- **Part J** - Heat Producing Appliances (2014)
- **Part K** - Stairways, Ladders, Ramps & Guards (2014)
- **Part L** - Conservation of Fuel & Energy (2017)
- **Part M** - Access & Use (2010)



The screenshot displays the NBCMP web application interface. The top navigation bar includes 'My Dashboard', 'My Details', and 'My Notices' (with a '+ New notice' link). The main content area shows a progress bar with four items: 'Project Particulars' (checked), 'Online Assessment' (checked), 'Phasing' (checked), and 'Nominations Roles' (not checked). Below this, a text box states: 'As well as the required Statutory documents, at least 3 supporting documents are a... The additional support documents are as follows:'. It then lists three categories of documents: 'Select at least one from the following' (General Arrangement Drawings, Plans, Sections, Elevations), 'And at least one of the following' (Part L Compliance Report including Building Energy Rating, Calculations, Specifications and Particulars), and 'And at least one of the following' (Compliance Report- with Second Schedule (Part A-M) of Building Regulations, Preliminary Inspection Plan, prepared by the Assigned Certifier). At the bottom, there is a 'Supporting Document' section with a 'Choose File' button, a 'No file chosen' status, and an 'Upload' button. A dropdown menu is open on the right side, showing a list of document types: 'General Arrangement Drawings', 'Plans', 'Sections', 'Elevations', 'Part L Compliance Report including Building Energy Rating', 'Calculations', 'Specifications and Particulars', 'Compliance Report- with Second Schedule (Part A-M) of Building Regulations', 'Preliminary Inspection Plan, prepared by the Assigned Certifier', 'Ancillary Certificates', 'Annex-to Certificate of Compliance on Completion-Table of Documents', 'Disability Access Certificate', 'Fire Safety Certificate', 'Inspection Plan Reports', and 'Schedule of Documents -refer to Question 6 Commencement Notice'. The dropdown menu is currently set to '- Select -'.



# BCMS-Applications Module-Commenced

- Fire Safety Certificate Module / Disability Access Certificate Module/Dispensation/Relaxation
  - Streamline processes and reduce administrative burden
  - Working Group established
  - Preliminary Design completed - a process for the online lodgment, validation and grant of FSC's / DAC's
  - Surveys & Consultation
  - Benefits

## 13. Applications

1. S6(2)(a)(ii) FSC –fire Safety Certificate
2. S6(2)(a)(vi) Revised FSC
3. S6(2)(a)(vi) Regularisation FSC
4. **Add CRM Statutory Register Requirement**

## 13. Applications

1. S6(2)(a)(ix) DAC-Disability Access Certificate
2. S6(2)(a)(x) Revised DAC
3. **Add CRM Statutory Register Requirement**

## 13. Applications

1. S4 Dispensation from a requirement of the Building Regulations
2. S4 Relaxation of a requirement of the Building Regulations
3. **Add CRM Statutory Register Requirement**

# BCMS-Integration with other Services

- UAT Access - in 4 Local Authorities-user group for testing
- External API's
  - **CPR IPSMS Integration**
    - EU Inspection database integration
  - **Professional Registers Links**
    1. CIRI-<https://www.ciri.ie/members>
    2. Engineers Ireland-<http://www.engineersireland.ie/membership/search-members.aspx>
    3. RIAI, [http://www.riai.ie/register/the\\_register\\_of\\_architects](http://www.riai.ie/register/the_register_of_architects)
    4. SCSI-<https://www.scsi.ie/members/search>
  - **Other Software Integration**
    1. Tascomi
    2. APAS
    3. BLITZ
    4. Diamond Web
  - **Eircode Integration**
  - Existing systems e.g.
  - Iplan
  - EPlanning

**[info@localgov.ie](mailto:info@localgov.ie)**  
For system queries

# National Building Control Management Project

- Inspections/  
Online  
Assessment





# Inspections-Competent- Professional-Building Control Officers

## Inspection Module

Inspection Working Group established

Chair Seamus Coughlin CFO Cork

- Sub-group 1(SG1) *Inspections Programme Protocol/Strategy*-Agreed to implement, the 11 Principles set out in the OECD Best Practice Principles for Regulatory Policy; (*Pat Nestor*)
- Sub-group 2(SG2) *Inspection Methodology*-Agreed on an 8-step inspection process; (*Andrew Macilwraith*)
- Sub-group 3(SG3) *Inspector Competency Requirement* -assessed required competencies for Building Control Inspectors, and (*Bernadette Mcardle*)
- Sub-group 4(SG4) *Inspection IT i.e. BCMS Module* -working on standard processes.

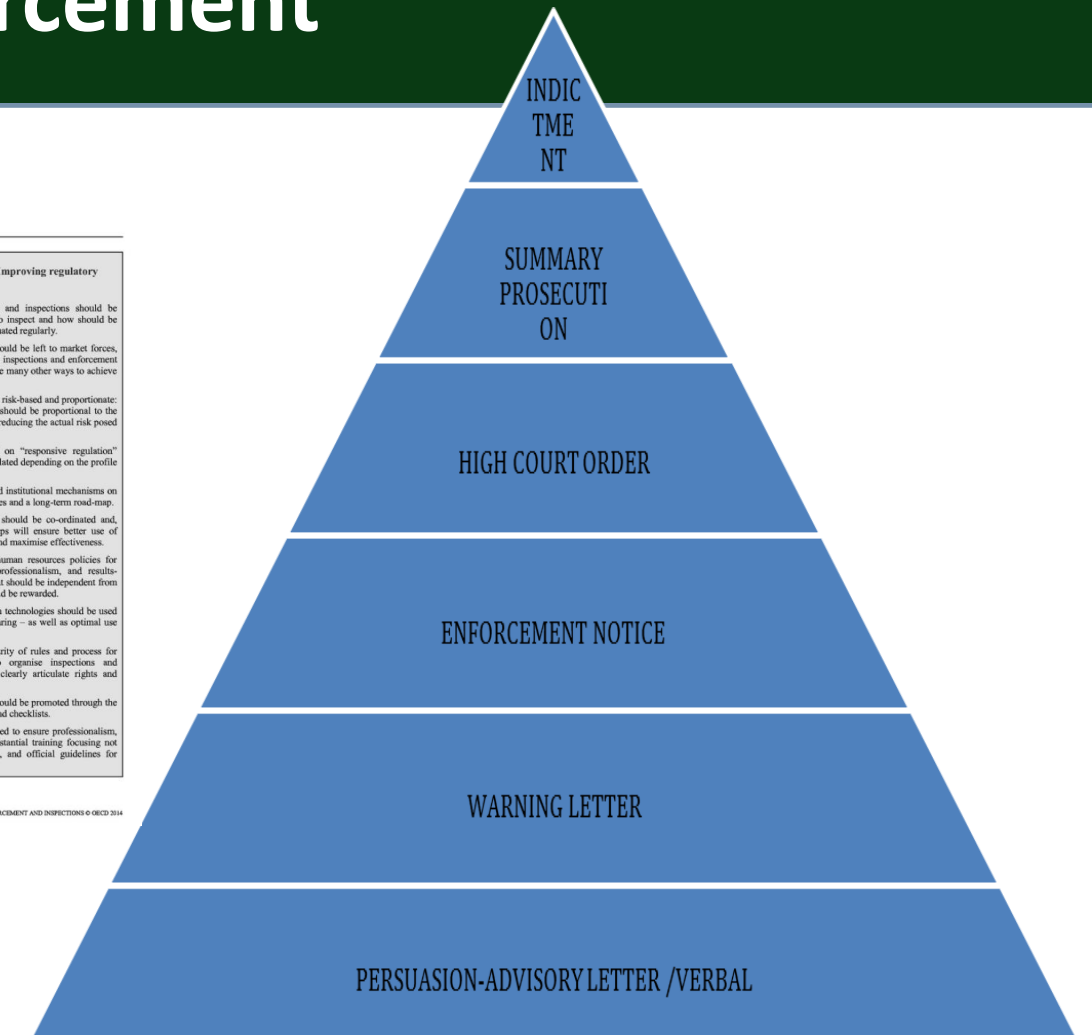
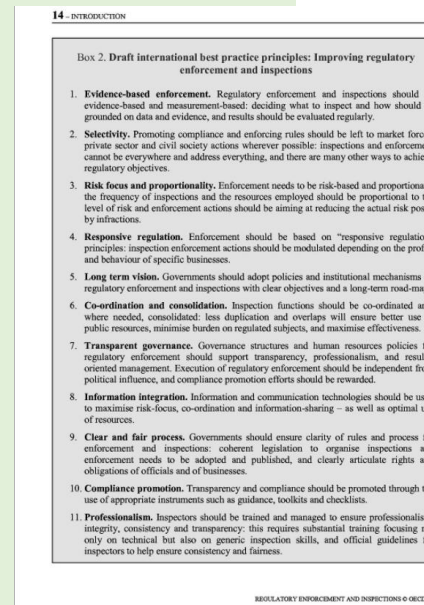
App design and build ongoing-management end via BCMA-Tablet based

Online and offline capability- Will be designed to link to IPSMS (*Eoin O Dowd*)

# Regulatory Inspections & Enforcement

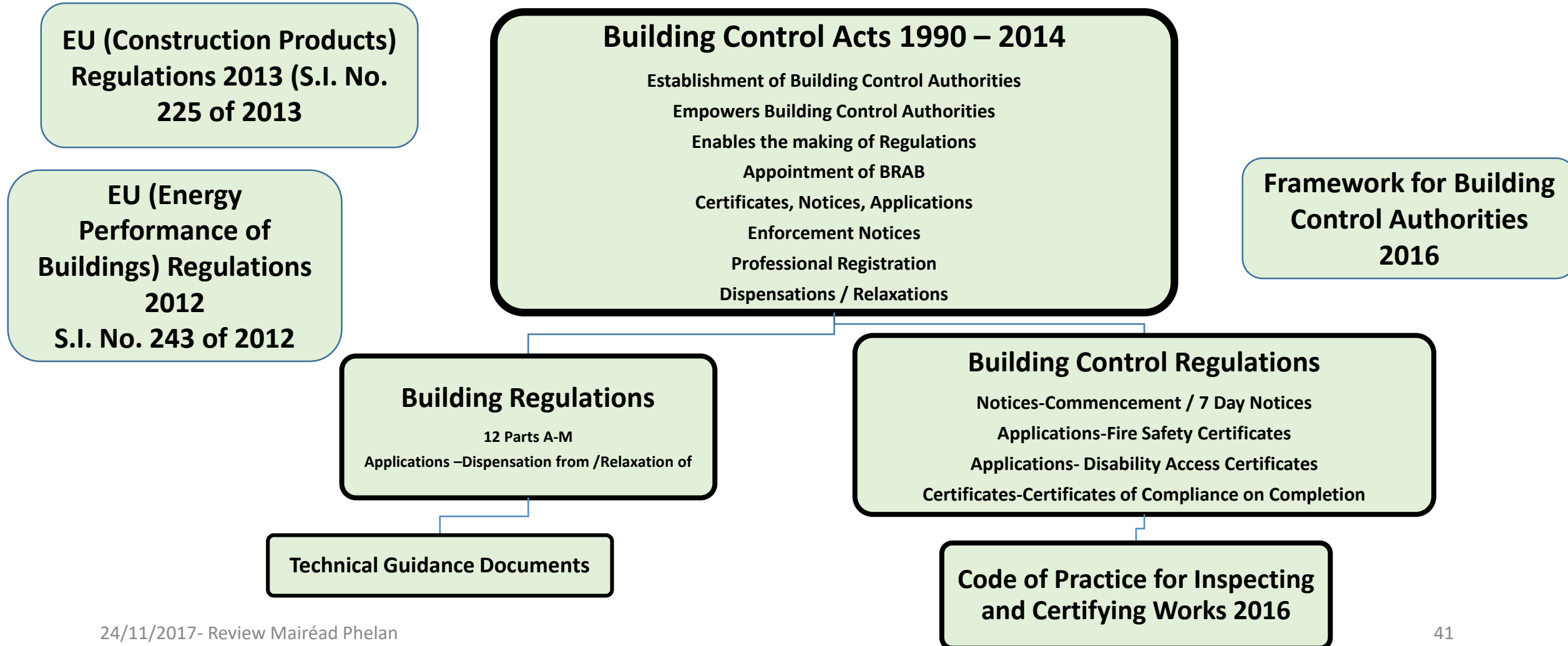
- OECD (2014), *Regulatory Enforcement and Inspections*, OECD Best Practice Principles for Regulatory Policy

- **Principle 1: Evidence-based enforcement**
- **Principle 2: Selectivity**
- **Principle 3: Risk-Focus and proportionality**
- **Principle 4: Responsive regulation**
- **Principle 5: Long-term vision**
- **Principle 6: Co-ordination and consolidation**
- **Principle 7: Transparent governance**
- **Principle 8: Information integration**
- **Principle 9: Clear and fair process**
- **Principle 10: Compliance promotion**
- **Principle 11: Professionalism**



**Figure 1. An Enforcement Pyramid for Regulatory compliance.**  
**Source: Reducing the risk of policy failure. Challenges for Regulatory Compliance. OECD**

## FAQ 7. What is the Building Control Legislation Framework?





## Inspection-FAQ 33. What construction stages should be inspected, as a minimum, for a one off house?

A "Desktop Technical Assessment" means an office based assessment checking for compliance with the Second Schedule to the Building Regulations of a valid Commencement Notice/ 7 Day Notice but excluding normal assessment procedures of FSCs and DAC's or an On-Site Technical assessment of the works for compliance.

### Sample Inspection Plan - one off house

1. Design
2. Formation
3. Foundation
4. Ground Floor
5. Wall Plate level
6. Roof Level
7. Completion

### The Inspection Plan is dependent on many factors including -

- a) type of building and type of construction;
- b) method of construction;
- c) how serious the consequences of a particular contravention might be;
- d) the impracticability or impossibility of subsequent inspection of closed up work; and
- e) speed of construction.
- f) Stakeholder Experience & Competency

"On-Site Technical Inspection" means a physical site based assessment of the works checking for compliance with the Second Schedule to the Building Regulations.

**NOTE: IF IN DOUBT, CONTACT YOUR LOCAL BUILDING CONTROL AUTHORITY**

# FAQ 33 (a). What construction stages should be inspected, as a minimum, for a one off house? Code of Practice Inspecting & Certifying Works 2016

Building Control Regulations

Code of Practice

Building Control Regulations

Code of Pra

Building Control Regulations

Code of I

Building Control Regulations

Code of Practice

Table C.1 Inspection Template for a Detached Non-Complex Dwelling House relevant to Commencement Notice No: \_\_\_\_\_

Inspection Stage	Elements for inspection	Builder Supervise ALL elements as work progresses ✓	Assigned Certifier Check priority elements as identified in the Preliminary Inspection Plan (See Appendix B) and other appropriate checks as deemed necessary ✓
1. Excavation/ Formation	a) Ground bearing suitability b) General arrangement of foundation c) Width of trench d) Depth below ground e) Steps in formation level (if any) f) Other relevant items • .....		
2. Foundations	a) General arrangement of foundation b) Depth and width of concrete c) Reinforcing steel d) Other relevant items • .....		
3. Sub-structure works (including ground floor)	a) Rising walls (external and internal) b) DPC c) Hardcore d) Under floor services e) Radon sump/venting pipe f) DPM or Radon Barrier (incl. seals) g) Ventilated sub-floor (if any) h) Floor Insulation – thickness/ type i) Floor structure e.g. • concrete ground bearing • concrete/ timber suspended j) Other relevant items • .....		

4. Super structure (prior to slabbing ceilings)	a) Wall construction <ul style="list-style-type: none"><li>Masonry units e.g. block/ bricks etc.</li><li>Wall ties</li><li>Wall insulation</li></ul>		
	b) Cills & lintels incl. DPC & bearing		
	c) First floor joists & floor (if any) e.g. <ul style="list-style-type: none"><li>timber grade/markings</li><li>span (allowable)</li><li>joist hangers</li><li>noggins &amp; straps</li></ul>		
	d) Chimney/ Flue liners/ gather		
	e) Roof structure (Prefabricated) e.g. <ul style="list-style-type: none"><li>truss tag/mark</li><li>bracing/ hangers &amp; shoes</li><li>Wall-plate &amp; tie down straps</li></ul>		
	g) Roof structure (Cut) e.g. <ul style="list-style-type: none"><li>purlins &amp; Struts</li><li>collar ties</li><li>hangers &amp; runners</li><li>timber grade/markings</li><li>Wall-plate &amp; tie down straps</li></ul>		
	h) Roof covering e.g. <ul style="list-style-type: none"><li>felt type &amp; laps</li><li>tile/slate &amp; nailing</li><li>flashings</li></ul>		
	i) Other relevant items • ..... • .....		

5. Completion	a) Approach & Access b) Finished G.L versus FFL c) Soffit vents d) Radon sump vent identification		
	e) Surface & Foul Drainage e.g. <ul style="list-style-type: none"><li>rainwater goods</li><li>soil vent pipes</li><li>gully traps</li><li>waste water treatment system (if any)</li></ul>		
	f) Fuel storage e.g. <ul style="list-style-type: none"><li>Location</li><li>distance from dwelling/ burner/ boundary</li><li>fire protection</li></ul>		
	g) Background vents & extraction fans		
	h) Mechanical Ventilation Heat Recovery (if any)		
	i) Windows & doors e.g. <ul style="list-style-type: none"><li>opening sizes/ readily open able</li><li>restrictors</li><li>guarding</li><li>safety glazing</li><li>letter plate height</li></ul>		
	j) Floor to ceiling height		
	k) Circulation <ul style="list-style-type: none"><li>Effective door width</li><li>Corridor width</li></ul>		
	l) Stairs e.g. <ul style="list-style-type: none"><li>bulk head height/ stair width</li><li>riser/tread dimensions</li><li>handrail height/ guarding</li></ul>		
	m) Roof insulation (incl. tank insulation)		

5. Completion contd...	n) Fire requirements e.g. <ul style="list-style-type: none"><li>smoke alarms (mains connected)</li><li>fire stopping at top of cavity wall</li></ul>		
	o) Carbon monoxide alarms (if applicable)		
	p) WC e.g. <ul style="list-style-type: none"><li>Visitable</li><li>dual flush toilet</li></ul>		
	q) Water supply e.g. <ul style="list-style-type: none"><li>direct to sink incl. stop valve</li><li>water storage capacity</li><li>insulation of pipework</li></ul>		
	r) Renewables		
	s) Heating system e.g. <ul style="list-style-type: none"><li>zone controls</li><li>pipe work insulation where applicable, etc.</li></ul>		
	t) Primary heating appliance e.g. <ul style="list-style-type: none"><li>Efficiency</li><li>air supply</li><li>condensate drain</li></ul>		
	u) Secondary heating system e.g. <ul style="list-style-type: none"><li>Efficiency</li><li>air supply</li><li>notice plate for hearths&amp; flues</li></ul>		
	v) Other relevant items • ..... • .....		

NOTE: IF IN DOUBT, CONTACT YOUR LOCAL BUILDING CONTROL AUTHORITY

**NOTE: IF IN DOUBT, CONTACT YOUR LOCAL BUILDING CONTROL AUTHORITY**

## FAQ 53. What process / methodology should you consider to ensure compliance with Building Regulations for Multi-Unit developments?

TABLE 1-METHODOLOGY FOR COMPLIANCE WITH BUILDING REGULATIONS	APPLICABLE Y/N	ESSENTIAL REQUIREMENTS FOR FULL COMPLIANCE IN THE CONTEXT OF THE DEVELOPMENT BEING CONSIDERED	Multi-Units-Phases i.e. Units 1.....n; note temporary for finished compliance-individual parts of CN
A- STRUCTURE			
B -FIRE SAFETY			
C- SITE PREPARATION & RESISTANCE TO MOISTURE			
D- MATERIALS AND WORKMANSHIP			
E- SOUND			
F- VENTILATION			
G- HYGIENE			
H- DRAINAGE AND WASTE DISPOSAL			
J- HEAT PRODUCING APPLIANCES			
K- STAIRWAYS, LADDERS, RAMPS AND GUARDS			
L- CONSERVATION OF FUEL AND ENERGY			
M -ACCESS AND USE			

ISSUES FOR CONSIDERATION-How do you propose to Comply?

- Preference for single CCC for each single legally distinct property
- Complete in one un-interrupted phase or many
- Taking In Charge?
- Single Commencement Notice –require multiple CCC?
- Length of time that might elapse between commencement of first units on a large development & last units & full completion/ Taking In Charge
- Disposing of parts of Large Developments to different Builders?
- Building Control Regulations 1997-2015-must Commence on a specified date between 14-28 days of submission of Commencement Notice
- If Phases proposed –consider separate Commencement Notices
- If different Builders proposed-consider separate Commencement Notices



## FAQ 36. What are the most common building defects observed by Building Control Authorities?

1. Underfloor fill- panel fixings, pyrite.. (Part A, C, D)
2. Moisture ingress-radon, dpc. (Part C)
3. Fire resistance-eaves, party walls, ducting (Part B)
4. Sound transmission,-flooring detail, insulation (Part E, L)
5. Condensation & mould growth (Part F)
6. Frozen pipes, attic tank, stopcocks (Part G)
7. Septic tanks overload, flooding (Part H)
8. Flues, location, size, burners (Part J)
9. Balcony, Stair rails-wrong height, glass (Part K)
10. Steps to entrances (Part M)
11. BER calculations don't exist, stud fixings, cavities clear of mortar (Part L)
12. Timber frame-fixings, vapour control, cavity barriers, fire stopping,
13. Blocks with no certification (Part A,D)



## FAQ 38. What elements should be inspected by Building Control Inspectors, at the various stages of construction?

Refer slide35 and "Code of Practice for Inspecting and Certifying Buildings or Works September 2016"

Stage No	Building Elements	Relevant Part of Building Regulations	Elements to be Inspected / Checked
1. Design Stage	Paper Assessment- S11 Requests	A-M	A-M
2. Formation Level	Substructure & Drains	A,C,D,H	Ground bearing, Drainage
3. Foundations	Excavation Ready for Inspection	A,C,D,H,,B,K,L,M	Foundations, pipe covers
4. Ground Floor Level	Superstructure walls and floor Joists laid	A,C,D,H,,B,K,L,M	Access, ventilation, walls
5. Wall Plate Level	Services, ventilation etc	A,B,D,E,F,M	Fire, insulation, floors-sound
6. Roof	Roof Construction & bracing complete	A,B,J,K	Fire, bracing, water storage
7. Certification	First Fix Services Complete & Ready for Occupation	A-M	Installation manuals

# Building Work Compliance



Part D-  
Materials &  
Workmanship





# A Regulatory Inspection/Enforcement Strategy – Balance Compliance Incentives – Monitoring & Compliance Effort

## EXCHEQUER & INDUSTRY COSTS OF COMPLIANCE V NON-COMPLIANCE

◆ Cost of Compliance	◆ Cost of Non-Compliances
■ Notification to BCAs-CNs etc.	<b>Cost of Remediation</b>
■ Education & training	■ Well Grants –Part G
■ Applications FSCs/DACs etc.	■ Septic Tank Grants –Part H
■ Purchase costs-	■ Insulation grants-Part L
■ Systems	■ Pyrite Remediation-Part D
■ Competent Persons	■ DPGS/HAGs-Part M-G
■ Record keeping	■ Fire Callouts –Part B/J
■ Enforcement	■ Leaks –balcony, chimney, flues, flashing etc.- Part C, D, J
■ Publication of documents	<b>Operating inefficiencies</b>
■ Procedures	■ Heating & Lighting-Part L
◆ BCA Inspectors on the ground	■ Health Issues
	■ Sound –Part E
	■ Radon-Part C
	■ Carbon Monoxide-Part B, J,
	■ Condensation-Part F
	■ Trips/Slips-Balcony /Stair Rails –Part K
	<b>Fines/Penalties/Imprisonment</b>

# Building Control Management- localgov.ie

## • *Construction Activity- 2017/18*

MANAGED KNOWLEDGE  
PLANNING  
MEASURED  
DATA  
INFORMATION

## What is the context of Building Control in the



Must Commence within  
14-28 days of Validation of  
Commencement Notice

Must Complete to Comply with the  
Requirements of the 2<sup>nd</sup> Schedule to the  
Building Regulations Part A-M →

- Connections to Water, Waste Water, Surface Water, Community Heating, -Utilities - Electricity, Gas, Broadband etc.
- Service Roads, Places of Refuge- Fire, Emergency Vehicles, Access etc.
- Phased development must stand alone for full compliance Waste permits etc...

Part A—St  
Part B—Fir  
Part C—Sit  
Part D—M  
Part E—So  
Part F—Ve  
Part G—Hy  
**Part H—Dr**  
Part J—He  
Part K—St  
Part L—Co  
Part M—A

Buildings i  
Control, Fi  
No Profess  
Planning &  
Environme  
Contract M  
Other Reg  
In Charge,  
Multi Unit

# Data Collection- “what gets measured gets managed”

localgov.ie

Home > My Notices > View application

Project: Detached House

Use the tabs below to create and/or view your Notices and/or Certificates

My Dashboard

My Details

My Notices  
+ New notice

Project Particulars

Online Assessment

Phasing

Non-Residential

Phasing

Total No. of Phases\*:  
1

Total No. of Dwellings Units (all phases)\*:  
1

No. of Dwelling Units for this Phase\*:

My Dashboard

My Details

My Notices  
+ New notice

My Certificates  
+ New certificate

Take a tour

Log out

Project Particulars

Online Assessment

Nominate Roles

Statutory Documents

Supporting Documents

Payment

Building Particulars

Building Name / Brief Description\*:  
Detached House Liscolman

Does the building/works involve a protected structure or national monument\*:  
Yes

Protected Structure / Monument Reference No.\*:  
Enter the Protected Structure / Monument Reference Number

FSC No. (if applicable):

DAC No. (if applicable):

Ground\*:

Building / works (sqm)\*:

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30

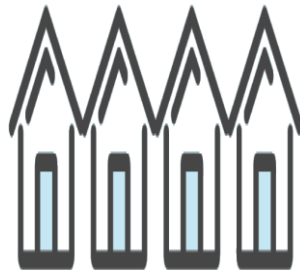


# Activity



**NBCMPBCMS**

National Building Control Management System



Over 87,000 customers

Almost 900,000 documents submitted

Almost 50,000 building projects in BCMS

Almost 44,000 valid building projects

## COMMENCEMENT NOTICES BY TYPE BY YEAR



### 5 Email Campaigns – Sending Alerts to All registered users

1. Grenfell Fire
2. Fraudulent Glass
3. Fraudulent Steel
4. Certificates of Compliance on Completion
5. Information Note 1-2018 Guidance on Timber Frame Walls

Commencement Notice Type Activity	Total-16 <sup>th</sup> March 2018	Total 2017
Commencement Notice Without Compliance Documentation	437	2298
7 Day Notice	213	1043
Commencement Notice with Opt Out Declaration	1213	5737
Commencement Notice with Compliance Documentation	880	4411
Total Commencement Notices	2743	13,489

# Ongoing Challenges

- **Technological changes**
- **Non-submission of Commencement Notices**
- **Non-submission of Certificates of Compliance on Completion**
- **Commencement Notices with Opt-Out Declaration –misunderstanding**
- **Lack of knowledge of Building Regulations in the Industry**
- **Relevant Building Control Training**
- **Better coordination within Local Authority's**
- **Better coordination between Local Authorities**

# Current Issues for- Building Control

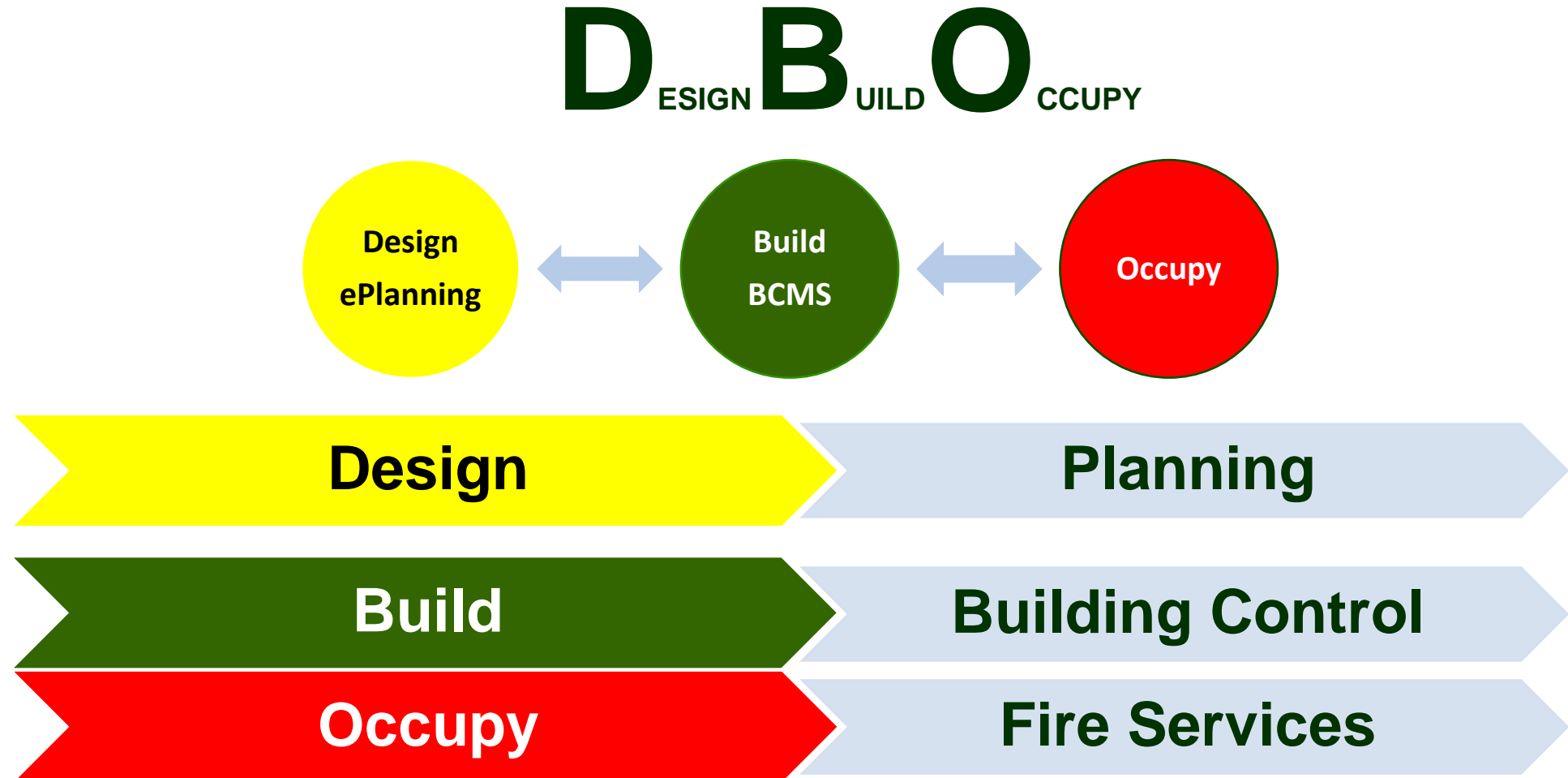
- Diversity of materials
- Diversity of Methods of construction
- What is Reasonable
- What is considered Adequate
- Fit for purpose
- Opinions/certificates of compliance
- Training in building-master & apprentice
- Part L implementation & renewables
- Part E (Sound) implementation
- Acceptable details
- Cost of Enforcement & recoupment of costs
- Bonds system/Retention similar to TIC bonds-apartment blocks!

# Opportunities for Building Control

- **Data Analytics to inform decisions**
- **Project Assessment to inform risk**
- **Increased use of IT systems to assist LA staff**
- **Improved inspection regime within industry and the BCAs**
- **Improved consistency nationally**
- **A Building Control System for the 21<sup>st</sup> Century**



## FAQ 1. What is the Building Life Cycle Strategic Management Cycle?



# National Building Control Management Project (NBCMP)

## Four pillar Project:

1. Training;
2. Inspections;
3. Compliance & Support;
4. IT-Enabler/BCMS - [localgov.ie](http://localgov.ie)

## Governance –

Oversight Board

## Collaboration

Oversight Board

Three Regional Building Control Committees.

## Vision

Create a “**Culture of Compliance**”  
Provide for an improved **Inspection**  
and **Enforcement** regime.

*NBCMP as a Shared Services Project  
Single Standardised System  
Operated across the Local Authority Sector  
Effective, Efficient Oversight, Support  
& Direction for  
Owners, Builders, Designers & Assigned  
Certifiers  
Building Control Officers*



**Thank You**